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PRELIMINARY DEVELOPMENT PROGRAMS AND GOALS FOR DUDLEY SQUARE

Prepared for the BOSTON REDEVELOPMENT AUTHORITY



Prepared by
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in association with
STULL AND LEE, INC.

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DRAFT

PRELIMINARY DEVELOPMENT PROGRAMS AND GOALS FOR DUDLEY SOUARE

PROLOGUE AND PURPOSE

The Dudley Square business district which comprises an area of approximately 60 acres bounded generally by Melnea Cass Boulevard on the north, Harrison Avenue on the east, the Roxbury civic center complex on the south, and Shawmut Avenue on the west has been designated an Economic Development District.

An inventory prepared in 1990, shows a total of 926,500 s.f. of space in the buildings in Dudley Square, not including the public buildings in the civic center complex. This includes approximately 400,000 s.f. of vacant non-residential space, 43 per cent of the total space in the district.

The purpose of this report is to present a series of alternative development programs for Dudley Square and to evaluate them in comparison to the existing inventory of space in the district to begin to establish goals for the economic development strategy that will be required to generate the employment, the incomes, the retail sales, and the households to support the final development program that will be prepared for Dudley Square.

ALTERNATIVE DEVELOPMENT PROGRAMS

Four alternative development programs are presented for review by the community. The total amount of occupied space in these programs ranges from 1.1 million s.f. to 1.3 million s.f. The average amount of space is 1.2 million s.f. The total amount of occupied space shown in the Dudley Square inventory is approximately 500,000 s.f. The overall goal for an economic development strategy for Dudley Square, therefore, is to generate employment and households to occupy 700,000 s.f. of non-residential and residential space in Dudley Square. Approximately 440,000 s.f. of this space would be conversions of existing vacant space. And approximately 260,000 s.f. would represent new construction.

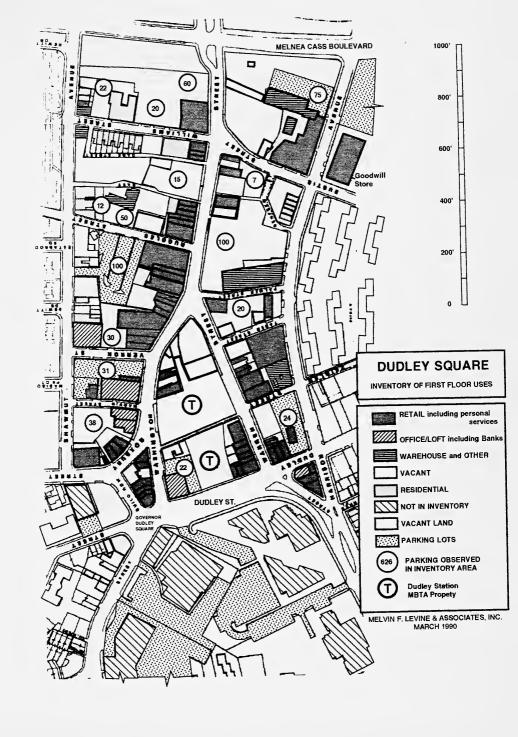
PRELIMINARY ECONOMIC DEVELOPMENT GOALS

Retail space would increase from 222,000 s.f. in 1990 to 300,000 s.f. by the year 2000: new stores an average increase of approximately 8,000 s.f. a year for ten years.

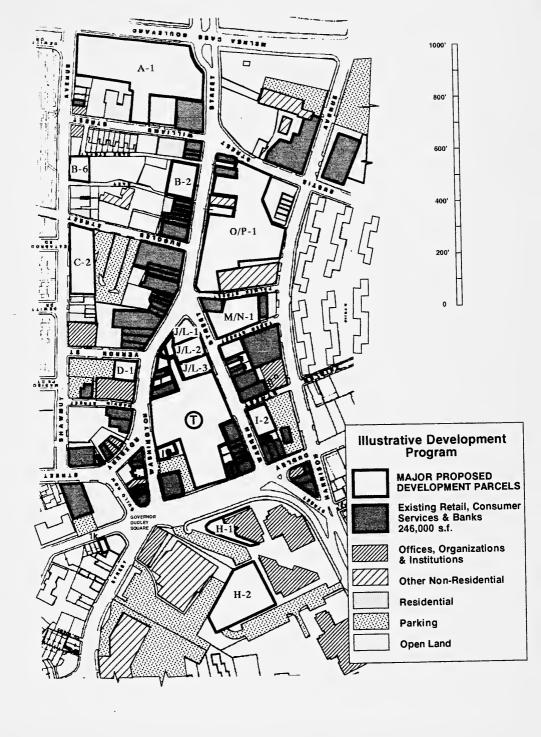
If we assume that retail sales would increase at twice the rate of the increase in retail space, then retail sales would have to increase by 8 % a year for ten years a very: 250 s.f. 2. Office and loft space would increase from 62,000 s.f. to 496,000 s.f. by the year 2000 an average increase of approximately 44,000 s.f. a year for ten years. If we assume a ratio of 400 s.f. per employee for "office/loft" space, this translates into an employment goal of approximately 100 employees added a year for ten years.

> 3. Residential development would increase from approximately 200 housing units to 345 housing units by the year 2,000. This would mean an average of 15 households a year attracted to Dudley Square for ten years.





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SUMMARY OF DEVELOPMENT PROGRAMS

COMPARISO	N OF DEVEL	OPMENT PRO	GRAMS WIT	COMPARISON OF DEVELOPMENT PROGRAMS WITH DUDLEY SQUARE INVENTORY	ARE INVENIOR			
SPACE	Alternative I	Alternative II	Alternative III-,	Alternative Alternative Alternative H-A Alternative H-B AVERAGES	AVERAGES			
Existing	402,020	406,970	417,820					
Rehab	420,925	417,175	428,425	458,675	431,300			
New	390,400	239,900	414,475	371,775	354,138			
Fotal Space	1,213,345	1,064,045	1,260,720	1,214,270	1,188,095			
SPACE-USE								
Retail	304,852	304,952	292,227	296,277	299,577			
Office/Loft	478,474	365,474	586,874	553,374	7	and the second s		
Warehouse	62,000	52,000	52,000					
Other	58,000			58,000				
Subtotal	903,326	780,426	989,101	942,651	903,876			
Residential	310,019	283,619	271,619	271,619	284,219			
otal Space	1,213,345	1,064,045	1,260,720	1,214,270	1,188,095			
Res. Units	368	347	332	332	345			
Pkg Spaces	777	884	824	812	824		The state of the s	
PACE -USE	SPACE -USE AVERAGES		DUDLEY SQU	DUDLEY SQUARE INVENTORY	<u>}-</u>	SPACE ADDED	CONVERTED	
Retail	299,577		222,300 Retail	Retall		77,277		
Office/Loft	Ĺ		62,000	62,000 Office/Loft		434,049		
Warehouse	50,250		94,500	94,500 Warehouse and Other	1 Other		-44,250	
Other	58,000		403,000	403,000 Vacant Non-Residential	sidential		-345,000	
Subtotal	903,876		781,800	781,800 Subtotal Non-Res	es	122,076		
Residential	284,219		144,700	144,700 Residential		139,519		
Total Space	1,188,095		926,500	926,500 NET TOTAL NEW SPACE	W SPACE	261,595		
Res. Units	345			Residential Units Added	ts Added	145		
Pkg Spaces	824			Parking Spaces Added	s Added	198		
CONOMIC	DEVELOPME	ECONOMIC DEVELOPMENT STRATEGY GOALS	SY GOALS					MFL 030391
a) Approxin	nately half	of the 77,27	7 s.f. of"Ret	ail space" adde	ed would conve	(a) Approximately half of the 77,277 s.f. of"Retail space" added would converted from "Vacant Non-Residential"	Non-Residential".	
The ren	nainder wou	ld be NEW S	PACE. This	represents a go	al for increasing	The remainder would be NEW SPACE. This represents a goal for increasing retail space of 35 %.	.0%	
If we	assume, for	r example, th	at some per	centage of the	increases in re	If we assume, for example, that some percentage of the increases in retail sales would go to existing retail stores	to existing retail	stores
the g	oal for inc	reasing reta	il sales wor	ild be substan	tlally higher th	the goal for increasing retail sales would be substantially higher than 35 % to support the added retail	ort the added re	tail space.
a) A majori	ity of the "	Office/Loft" s	pace added	would be from	"converted" "\	A majority of the "Office/Loft" space added would be from "converted" "Vacant Non-Residential" space	ntial" space.	
This w	ould accomi	modate the e	mployment a	dded in the Du	dley Square ec	This would accommodate the employment added in the Dudley Square economic development district.	nt district.	
Using	a ratio of	400 s.f. of	"Office/Loft	space/emplo	yee, the goal	Using a ratio of 400 s.f. of "Office/Loft" space/employee, the goal for the economic development strategy	development str	ategy
40.0	dley Sourer	ad bluck ar	(434.049 S.	divided by 4	= (ome/:/emp) =	for Dudley Square would be $(434.049 \text{ s.f.} \text{ divided by } 400 \text{ s.f./emp}) = 1,085 \text{ employees added}$	added.	



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ALTERNATIVE I		П	2	No Foot-	sting		ap	Ī	New		Hes	нее Ркд	HEIAIL		15	WAHE-	OFFICE WARE- RESIDENTIAL OTHER PAR-	I AL	O HEH	HAH.
Address		Lot Area	E.	Firs. print	ıst	Upper	1St	Upper	181	<u>تَ</u>	Onts	ŝ			LOFT		HOUSE SPACE UNITS	SIN		Z Z Z
2101 Wash	_	060'69							13,600					13,600	13,600					59
700 Shwmt	_	38,640	ო	_					12,800	25,600		36 16 Res./Flats	Flats				38,400	36		=
716 Shwmt	_	1,297	2	1,575			1,575	1,575					Res./Flats				3,150			
712 Shwmt	_	2,496	-	2,800			2,800 na	na			_	Som	Community Use						2,800	
2103 Wash	-	18,670	4	-			10,000	30,000				18 Retail/Loft		10,000	30,000					
37 Williams	S	23,780	က	9,400	9,400	16,700					e	36 17 Res/Apts	Apts				26,100	36		17
720 Shwmt	=	1,806	က		1,800	3,600						Elks Club	Club						5,400	
718 Shwmt	=	1,227			1,200	2,400						3 Res/Flats	Flats				3,600			
714 Shwmt	ŧ	1,353		ı	1,300	2,600						3 Res/Flats	Flats				3,900	e		
1777		11		İ				003			Č	of Allicated		11			009 66			
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2141 r Wash	ash	7,050					2,302	4,604				Loff		-	906					
//93	2167/93 Wash	16,730			13,572			27,144						13,572	27,144					
25 Ruggles	Se	27,516	က				4,670	9,340					Apts				14,010			20
Sha	736 Shawmut	35,750	က	2,800					2,800	9,600		9 29 Res/Flats	Flats				8,400			či
9 Ruggles	φ.	8,158	m	4,700			4,700	9,400			_	15 Res/Apts	4pts				14,100			
Sha	750 Shawmut	11,965	e	8,600	8,600	17,200					2	7 Res/Apts	4pts				25,800			
Sha	722 Shawmut	000'9										Mosque	ine						5,700	
N O	24/40 Williams	16,280		ĺ	ĺ						N	27 Res/Flats	Flats	-			21,600	27		
2201 Wash	sh	14,116	4		11,676			35,028				Reta		11,676	35,028					
780	760/780 Shwmt	29,700	CI	7,000					7,000	2,000		30 18 Res/Flats	Flats				14,000	3		18
10 Ruggles	Se	37,625 pkg	pkg	37,625			pkg					61 Parking	bu							9
2249 Wash	sh	1,000 wlk	¥	1,000			wkwy					Walkway								
1/41	2221/41 Wash	15,518	က	11,800	11,800			23,600				6 Retail/Loft		11,800	23,600					9
199	2251/59 Wash	16,069	2	000'9	000'9	000'9						5 Retail/Off		000'9	9,000					4.7
2269 Wash	sh	26,786 1&B	1&B	11,000	11,000	11,000						Robell's		22,000						
88/8	2283/89 Wash	7,997	က	7,000	7,000			14,000				Retai	Retail/Loft	2,000	14,000					
9 Ve	27/29 Vernon	9,557	2	6,400	6,400							Salve	Salvation Army		12,800					
94 S	788/94 Shwmt	9,242	က	2,900	2,900	4,700						8 Res/Flats	Flats				7,600	ω		
2305 Wash	- Les	6,400	ო	6,400					6,400	12,800		Retail/Off	<u>=</u>	6,400	12,800					
do rear		21,530 pkg	pkg	21,530								37 Parking	ng							37
/37 \	2321/37 Wash	11,600	CI	11,600	11,600	11,600						Office	0		23,200					
B _O	11/29 Roxbury	10.500	2	4.800	4.800	4.800						Retail/Off		4,800	4,800					
1 B	37/51 Roxbury	6,459	4		-			12,105			_	t3 Retai		5,394			12,105	13		
5 Po	33/35 Roxbury	1,242						800				Retai	Retail/Loft	800	800					
3/45	2343/45 Wash	25,817	N	6,300	6,300	6,300						38 Bank/Off	ij.	-	12,600					38
150 Dudley	ey	009'9	ന				5,578	11,156				Retai	Offic	5,578	11,156					
Š,	42/50 Warren	8,296	-	8,050					8,050			Retail		8,050						
160 Dudley	ley	18,925	-	1,400	1,400							19 Retail		1,400						19
				1		-		00				30		0.40	10 400					
J/L-1 1 Warren	.eu	5,974	n	4.615			4,615	18,460				Tela		4.015	8,490					



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				25,986					1	3,718																	18,000				21,700		310,019			
												-											1000	2		17,000		35,000					62,000			
28,090	42,462	8,928				6,700	18,600							4,400		006,96										17,000						2,500	478,474 62,000 310,019			
11,460	7,077	3,436	3,319	9,882	3,900		6,200		0,0	600'-	2,056	3,500	887,	2,200		15,000		4,590	3,200	4,500	4,500		000	13.625				30,000				1,250	304,852			1 213 345
Retail/Off	Retail/Off	Retail/Off	Retail	Retail/Apts	Retail	Bank	Retail/Off	T Shelters		Detail/ Des	Hetail	Hetail	Hetali	Hetall/Off	Parking	200 Retail/Pkg	25 Parking	Retail	Retail	Retail	Retail	Elec Eqpt.	Bot/Whso	Betail	68 Parking	Whse/Loft	12 Res/Flats	46 Ret/Whse	Historic	Historic	22 Res/Flats	8 Retail/Off		23 Police Dept	ō	MFL 030391
				0		20								(ກ	200	25								89	3		46				α	777	23	234	MF
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28,090										i						006'96					İ		10 00				4,000				14,000		231,840		79,250	
11,460								30,000		Ì						15,000							21,000	13.625			2,000				7,700		158,560	000'6	39,625	
	42,462	8,928		25,986			18,600		0 77.0	0 / 1				i		+													4,500	1,800		2,500	339,306			_
	7,077	3,436	3,319	9,882			6,200		4	000	2,056	2,500												-					5,000	1,800		1,250	81,619			
													7 400	2,400												17,000	8,000						140,900			
_					3,900	6,700						,	2000	2,200				4,590	3,200	4,500	4,500	1,000				17,000	4,000	65,000					261,120			-
11,460	7,077	3,436	3,319	9,882	3,900	6,700	6,200	30,000	000	0 0	2,056	3,500	207	2,200	9,630	32,300	16,271	4,590	3,200	4,500	4,500	1,000	21 000	13.625	28 000	17,000	6,000	65,000	5,000	1,800	7,700	1,250	632,655		39,625	
4	7	4	-	4	-	-	4	-	c	2 1	-	-	- 0	2	pkg	4	pkg	-	-	-	-	-	0	-	nka	2	m	-	182	0	ო	m	-	=	က	-
11,460	7,115	3,579	3,319	12,044	6,390	17,270	7,669	85,300	000	600,-	2,056	000,	1,688	2027	a'eao bkg	38,000	16,271 pkg	4,591	800'9	5,864	4,807	7,911	95,000		do	20,391	18,750	78,888	41,244 182	39,420	36,000	7,000	1,211,210	na	na	
15 Warren	19 Warren	2286 Wash	2360 Wash	142 Dudley	39/49 Warren	2345 Wash	2304/28	MBTA	Accountage	2000 Wassi	2371 Wash	2379 Wash	2355 Wash	to D	10 Hoxbury	M/N-1 20 Warren	M/N-2 1155 Harrison	M/N-3 22 Warren	M/N-4 28/30 Warren	M/N-5 32 Warren	M/N-6 38 Warren	M/N-7 119 Harrison	O/P-1a 2200 Wash			7 Harrison	O/P-3 1103/13 Harr	1003 Harrison	2000 Wash	2100 Wash	2401 Wash	95 Dudley		Police	Parking Garage na	
J/L-2	J/L-3	J/L-4	J/L-5	J/L-6	J/L-7	J/L-8	9/I-9	J/L-10	-		N 0	2 3	† u	0 0	٩	1-N-1	1/N-2	A/N-3	4/N-4	4/N-5	9-N/V	4/N-7	VP-1a	O/P-1b do	O/P-1c do	3/P-2	3/P-3	Ģ	T	တ္	Œ.	S-1			H-2	

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LTEF	ALTERNATIVE II		No Foot-	Foot-	Existing		Rehab		New		Res	Pkg	RETAIL	Ì			RESIDENTIAL	OTHER PAR-	PAR
	Address	Lot Area	Firs	ם	1st	Upper	1st	Opper	1st	Upper	Unts Spcs	_		LOFI	HOUSE	SE SPACE	SPACE UNITS		KING
A-1	2101 Wash	060'69	_						26,400			Supermket	mket 26,400	400					
A-2	700 Shwmt	38,640 pkg	pkg	38,640								84 Parking	DL BL						84
A-3	716 Shwmt	1,297	Ø	1,575			1,575	1,575	16		ო		Flats			3,150		3	
A-4	712 Shwmt	2,496	-	2,800			2,800) na				Comi	Community Use					2,800	
A-5	2103 Wash	18,670	4	10,000			10,000	30,000	-			18 Retail/Loft	/Loft 10,000		30,000				18
A-6	37 Williams	23,780	က	9,400	9,400	16,700					36	17 Res./Apts	Apts			26,100		36	17
A-7	720 Shwmt	1,806	ო	1,800	1,800	3,600						Elks Club	Slub	 -				5,400	
A-8	718 Shwmt	1,227	n	1,200	1,200	2,400					က		lats			3,6		6	
A-9	714 Shwmt	1,353	က								ო	Res/Flats	lats			3,900		m	
<u>.</u>	2121 Wash	11,822			11,200			33,600			53			11,200		33,600		59	9
O.	2149 Wash	25,750	3	7,125					7,125	14,250				7,125		14,250		9	18
B-3	2141 r Wash	7,050	က		- 1		2,302					Office/Loft			906'9				
84	2167/93 Wash	16,730	3	13,572	13,572			``						13,572 27	27,144				
8-5	25 Ruggles	27,516	က	4,670			4,670	9,340	•		15		hts			14,010		15	20
9-B	736 Shawmut	35,750	က	2,800					2,800	5,600		29 Res/Flats	lats			8,400		o	58
8-7	9 Ruggles	8,158	က				4,700	9,400	-		15	Res/Apts	hts			14,100		15	
89	750 Shawmut	11,965	က	8,600	8,600	17,200					27	Res/Apts	hts			. 25,800		7	
B -9	722 Shawmut	9,000	က	1,900		3,800						Mosdue	en					5,700	
B-10	24/40 Williams	16,280	က		7,200	14,400					27	Res/Flats	lats			21,600		27	
	7000				11.070			000				4-1/10-1-0	4	11 676	000 30				
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م د	760/ 780 Shwmt		7						000'/	000'/	000		lats			14,000		30	20 5
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မှ မ	2251/59 Wash	16,069	2 0									5 Hetall/Off	-		6,000				٥
٥.	2269 Wash	26,786 1&B	1&B	000,11		000,11						Hobell's		-			-		
80	2283/89 Wash	7,997	İ					14,000				Hetail/Loft	4.	7,000,7	14,000				
စ	27/29 Vernon	9,557		6,400									Salvation Army	12	12,800				
0-10	788/94 Shwmt	9,242	n		2,900	4,700					00	Res/Flats	lats			7,600		ω	
5	2305 Wash	6,400	n	6,400					6,400	12,800	C	Retail/Off		6,400	12,800				
D-2	do rear	21,530 pkg	pkg	21,530								37 Parking	DL DL						37
D-3	2321/37 Wash	11,600	~	11,600	11,600	11,600						Office		23	23,200		-		
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	1 1/20 HOXDUIY	0,00		200.				10 + 04			10	Ī		ĺ	3	10 105		13	
7 E	33/35 Boxbuny	1 242		800				800			2		Ì	800	800	į			
	Single Indiana	3,7,1	1					5					-	i	000		-		00
F-4	2343/45 Wash	/18'07		005,0		005,0						SO DALIK	5	2	000	-			3
Ξ	150 Dudley	009'9	m	5,578			5,578	3 11,156				Retail/Off			11,156				
	42/50 Warren	8,296	-	8,050					8,050			Retail		8,050					
<u>ب</u>	160 Dudley	18,925	-	1,400	1,400							19 Retail		1,400					9
																-			
J/L-1	1 Warren	5 974	u	40.0											000				



J/L-2 15 Warren	<u>۔</u>	11,460	4	11,460					11,460	28,090		Hetail/Off	11,460	28,090					
19 Warren	=	7,115	7	7,077			7,077	42,462				Retail/Ott		Ì					
2286 Wash	Sh	3,579	4	3,436			3,436	8,928				Retail/Of	3,436	8,928					
J/L-5 2360 Wash	sh	3,319	-	3,319			3,319					Retail	3,319						
142 Dudley	ey	12,044	4	9,882			9,882	25,986			40	Retail/Apts				25,986	40		
39/49 Warren	rren	6,390	-	3,900	3,900							Retail	3,900						
2345 Wash	sh	17,270	-	6,700	6,700							20 Bank		6,700					8
2304/28		7,669	4	6,200			6,200	18,600				Retail/Off	6,200	18,600					
J/L-10 MBTA		85,300	-	30,000				100	30,000			T Shelters	8					30,000	
2359 Wash	- S	1,859	ო	1,859			1,859	3,718			4	Retail/Res	s 1,859			3,718	4		
2371 Wash	sh	2,056	-	2,056			2,056					Retail							
2379 Wash	sh	3,500	-	3,500			3,500					Retail	3,500						
2365 Wash	sh	1,288	-	1,288	1,288							Retail	1,288						
2377 Wah	_	2,253	m	2,200	2,200	4,400						Retail/Of	2,200	4,400					
10 Roxbury	<u> </u>	9,630 pkg	ykg	9,630								9 Parking							6
M/N-1a20 Warren	c	25,508	-	5,225					5,225			Retail	5,225						
M/N-1b6 Warren		0	-	3,150	3,150							Retail	3,150						
M/N-1c do rear	0	d op	pkg	17,133								30 Parking							30
M/N-1d1141 Harrison	rison	6,911	-	1,800	1,800							Retail	1,800						
M/N-2 1155 Harrison	rison	16,271 pkg	okg.	16,271							_	25 Parking							25
M/N-3 22 Warren	u	4,591	-	4,590	4,590							Retail	4,590						
M/N-4 28/30 Warren	arren	6,008	-	3,200	3,200							Retail	3,200						
M/N-5 32 Warren	į.	5,864	-	4,500	4,500							Retail	4,500						
M/N-6 38 Warren	Ę	4,807	-	4,500	4,500							Retail	4,500						
M/N-7 119 Harrison	son	7,911	-	1,000	1,000							Elec.Eqpt						1,000	
O/P-1 2200 Wash	lys	83,000	4	52,000					28,000	144,000		380 Retail/Pkg	28,000						380
O/P-2 1127 Harrison	rison	20,391	2	17,000	17,000	17,000				i		Whse/Loft	-	17,000	17,000	- 1			
O/P-3 1103+ Harrison	arrison	18,750	ო	000'9	4,000	8,000			2,000			12 Res/Flats				18,000	21		12
O/P-4 1119+ Harrison	arrison	12,000	ო	4,000					4,000	8,000	15	10 Res/Flats				12,000	5		유
1003 Harrison	rison	78,888	-	000'59	000'59							Ret/Whse	30,000		35,000				
2000 Wash	sh	41,244 182	82	5,000			5,000	4,500				Historic						9,500	
2100 Wash	sh	39,420	0	1,800			1,800	1,800				Historic						3,600	
2401 Wash	qp	36,000	ო	7,700					7,700	14,000	33	22 Res/Flats				21,700	33		22
		1,198,629		658,428	658,428 266,070 140,900		80,369	336,806	146,160	237,740	347	884	304,952	365,474	52,000	52,000 283,619	347	58,000	884
Police	_	na	-						000'6			23 Police Dept	td.						
Parking Garage na	aarage r	io	က	39,625					39,625	79,250		234 Parking							
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28,090	42,462	8,928				6,700	18,600						4 400		006'96							17,000	14,000	5,000	8,200	12,800					17,000						2,500	586,874		
11,460	7,077	3,436	3,319	9,882	3,900		6,200		1,859	2,056	3,500	1,288	2,200		15,000		4,590	3,200	4,500	4,500		8,500	000'6	2,500	4,100	6,400	2,200	1,600	1,300				30,000				1,250	292,227		
Retail/Off	Retail/Off	Retail/Off	Retail	Retail/Apts	Retail	Bank	Retail/Off	T Shelters	Retail/Res	Retail	Retail	Retail	Retail/Off	9 Parking	200 Retail/Pkg	25 Parking	Retail	Retail	Retail	Retail	Elec. Eqpt.	Retail/Off	Retail/Loft	Retail/Loft	Retail/Loft	Retail/Loft	Retail	Retail	Retail	Parking Lot	Wrhse/Loft	12 Res/Flats	46 Retail/Whse	Historic	Historic	22 Res/Flats	8 Retail/Off	824 1,260,720	23 Police Dept	234 Parking
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	42,462	8,928		25,986			18,600		3,718															5,000										4 500	1,800		2,500	344,306		
	7,077	3,436	3,319	9,882			6,200		1,859	2,056	3,500													2,500										5,000	1,800		1,250	84,119		
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						6,700						1,288	2,200				4,590	3,200	4,500		1,000				4,100		2,200		1,300				65,000					684,030 268,720 149,100		
11,460	7,077	3,436	3,319	9,882	3,900	6,700	6,200	30,000	1,859	2,056	3,500	1,288	2,200	9,630	32,300	16,271	4,590	3,200	4,500	4,500	1,000	8,500	000'6	2,500	4,100	6,400	2,200	1,600	1,300	59,400	17,000	6,000	65,000	5,000	1,800	7,700	1,250	684,030		39,625
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